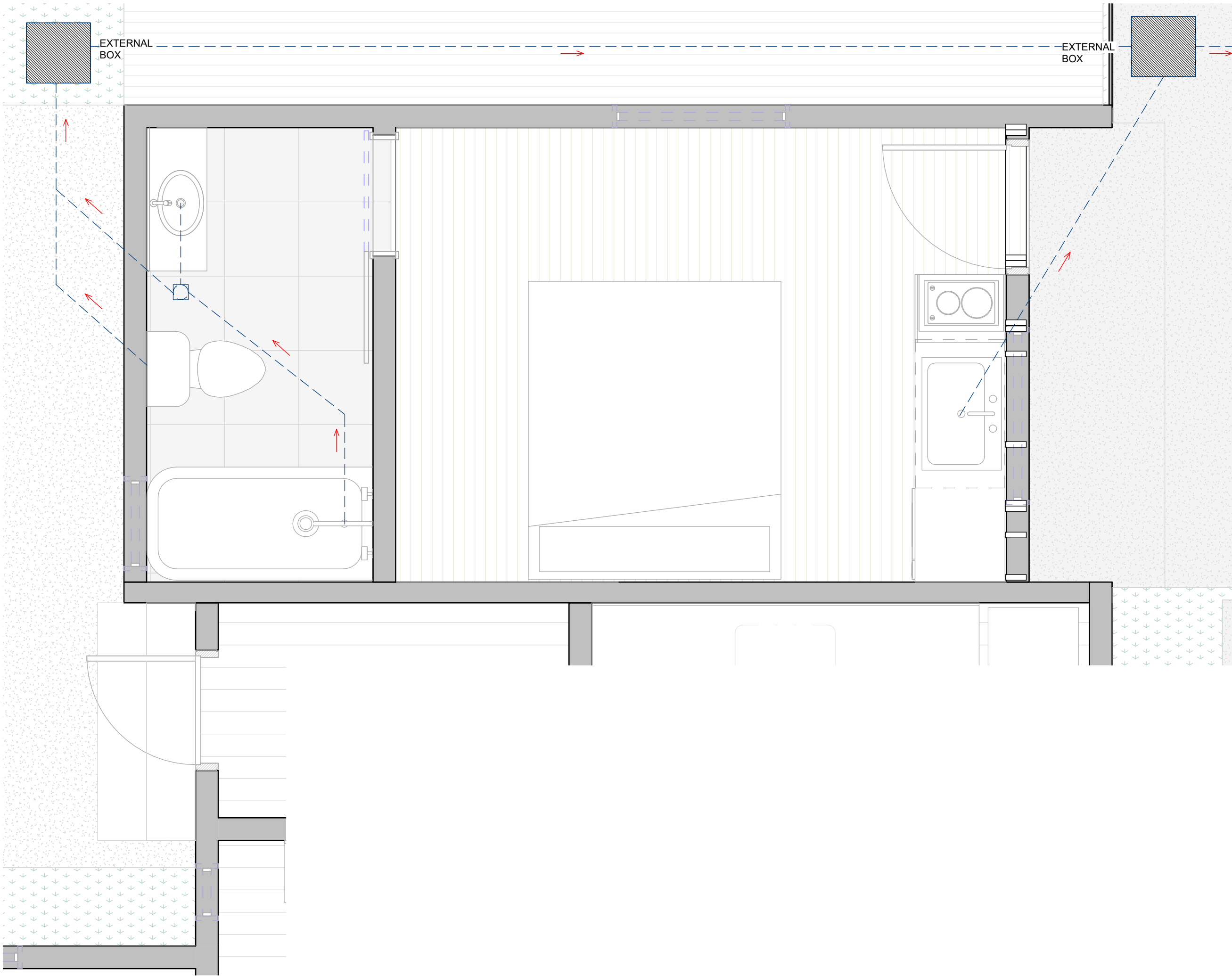
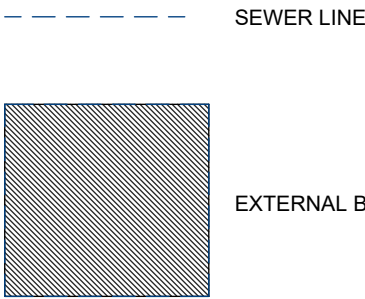


JUNIOR A.D.U

16833 W COVELLO ST. VAN NUYS CA 91406



I PLUMBING PLAN
1/2" = 1'-0" FOR REFERENCE ONLY



PROJECT DESCRIPTION

CONVERT
 (E) ATTACHED GARAGE INTO A (N)
 JADU PER CA GOVT. CODE
 65852.2(E)(1)(A) AND 65852.22

CONTACT INFO

PROPERTY OWNER: EVELYN RAMIREZ
 16833 COVELLO ST, VAN NUYS, CA 91406

 EXPEDITOR/DESIGNER: INNOVATIVE PROJECTS
 7802 Samura Pl #6, Garden Grove, CA 92841 T: (424) 410-0909
 CSLB: 1101681

PROJECT DATA

ADDRESS: 16833 COVELLO ST LOS ANGELES CA
 APN: 2226-025-015
 ZONE CODE: LAR1
 OCCUPANCY GROUP: R1
 LEGAL DESCRIPTION: TRACT NO 14659 LOT 24
 MAIN BLD: 873 SF
 GARAGE: 190SF
 TYPE OF CONSTRUCTION: TYPE V-B
 SPRINKLED: NOT REQUIRED

AREA TABULATIONS

EXISTING LOT SIZE: 6000 SF EXISTING GARAGE: 190 SF EXISTING BUILDING: 873 SF	RFA CALCULATIONS: MAX: 6001.8 x 0.45 = 2700.81 SF PROVIDED: (E) SFD 873 SF + (N) JADU 190 SF = 1063 sf < 2700.81 SF
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GENERAL NOTES

DRAWING SET

PLUMBING

SHEET INDEX:

G001 AS BUILT PLAN - SITE PLAN - ROOF PLAN - AS BUILT
 G002 AS BUILT ELEVATIONS - SECTION A - AREA OF WORK
 G003 RENOVATION PLANS - SECTIONS
 G004 GENERIC DETAILS - EXISTING FACADE - FACADE PROPOSED ADU
 G005 ELECTRICAL PLAN
 G006 PLUMBING